

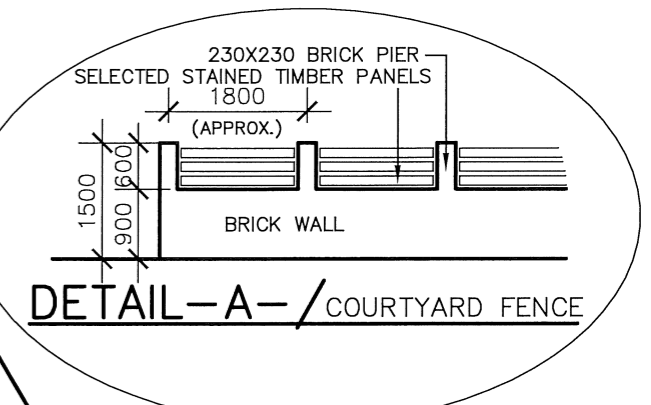


LEGEND

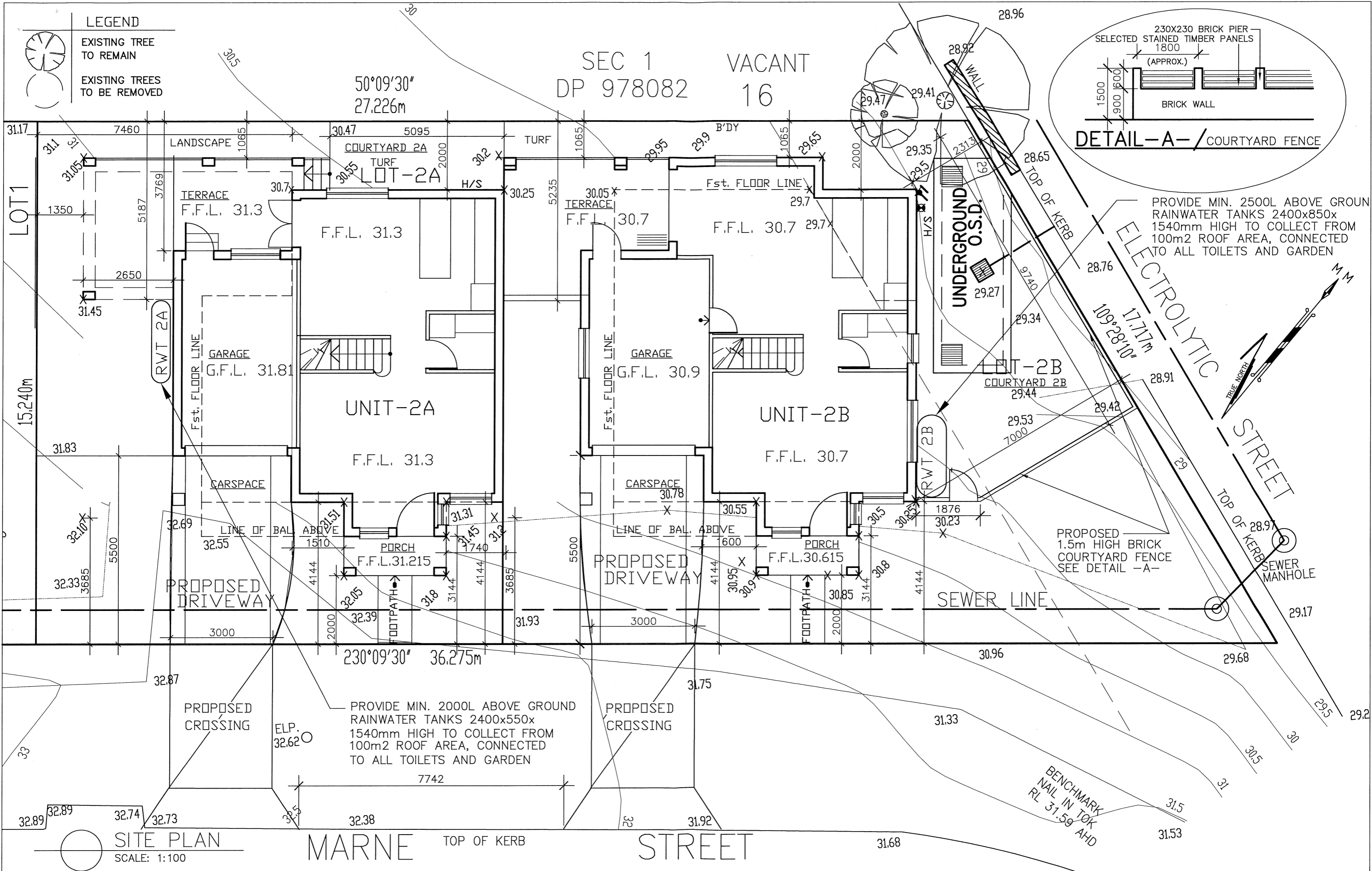
-  EXISTING TREE TO REMAIN
-  EXISTING TREES TO BE REMOVED

SEC 1 VACANT
DP 978082 16



PROVIDE MIN. 2500L ABOVE GROUND RAINWATER TANKS 2400x850x1540mm HIGH TO COLLECT FROM 100m² ROOF AREA, CONNECTED TO ALL TOILETS AND GARDEN

PROPOSED 1.5m HIGH BRICK COURTYARD FENCE SEE DETAIL -A-



SITE PLAN
SCALE: 1:100

MARNE TOP OF KERB STREET

ISSUE	AMENDMENT	DATE	CHECKED
-C-	C.C.STAGE	06/04/17	S.S.
-B-	AMENDED PLANS	27/02/17	S.S.



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PROJECT:
 PROPOSED DUPLEX DEVELOPMENT
 AT LOT 2 DP 1208825
 AT NO 18 MARNE STREET - PORT KEMBLA
 FOR MR. ZORAN

DRAWING TITLE:
 ARCHITECTURAL DETAILS
 SHEET: 1/5

DESIGNED BY: SAM SAKR REV: S.S.
 DATE: 20/10/16 SCALE: 1:100
 CAD FILE NAME: Z:\2013\AR\253 LOT 2 DRAWN: A.M.

CALCULATIONS

SITE AREA : 484.32m²
 AREA ALLOWED TO BUILD 50%=242.16m²

	Gnd Flr AREA (WITHOUT PORCHES & GARAGE)	Fst Flr AREA (WITHOUT STAIRS)	COURTYARD AREA	NO OF CARSPACES	GARDEN & LAWN AREA
UNIT -2A-	50.2	53.0m ²	50.3m ²	2	82.39m ²
UNIT -2B-	59.17m ²	61.2m ²	72.8m ²	2	148.33m ²

LOT 2A AREA = 208.21m²
 SITE COVERAGE AREA REQUIRED= 50%=104.105m²
 SITE COVERAGE AREA PROVIDED= 104.1m²

LOT 2B AREA = 276.11m²
 SITE COVERAGE AREA REQUIRED= 50%=138.055m²
 SITE COVERAGE AREA PROVIDED= 106.5m²

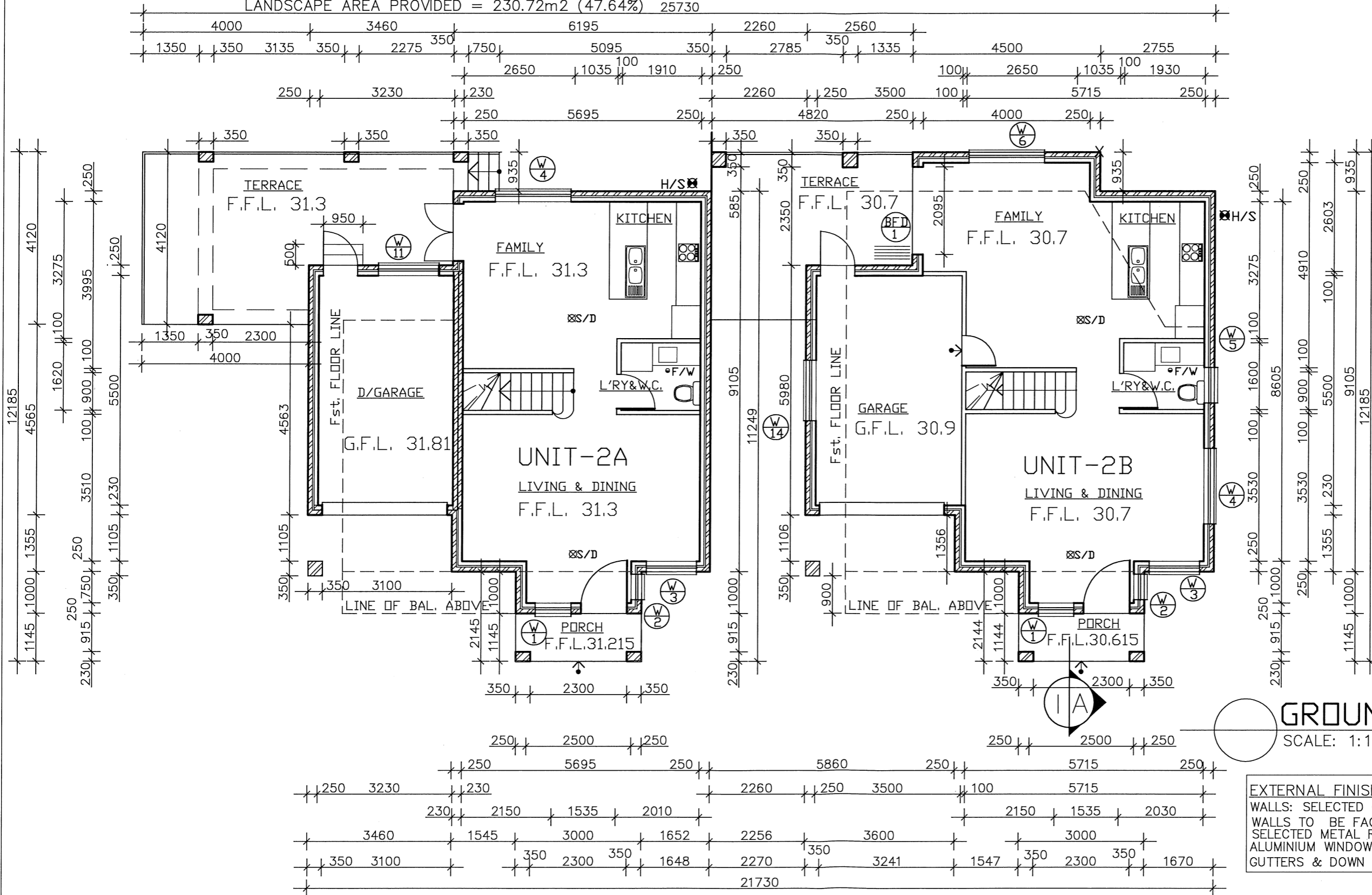
TOTAL FLOOR AREA =223.57m²
 LANDSCAPE AREA REQUIRED 20% = 96.864m²
 LANDSCAPE AREA PROVIDED = 230.72m² (47.64%) 25730

LEGEND

×	EXISTING NATURAL Gnd L.
●	PROPOSED Gnd L.
F.F.L	FINISH FLOOR LEVEL
C.L	CEILING LEVEL
G.F.L	GARAGE LEVEL
⊗S/D	SMOKE DETECTOR
⊗H/S	HOT WATER SYSTEM
○F/W	FLOOR WASTE

ENERGY EFFICIENCY DETAILS

UNIT 2A & UNIT 2B	CONSTRUCTION	INSULATION	COLOUR
EXTERNAL WALLS	BRICK VENEER	R1.36 (OR 1.90 INCLUDING CONSTRUCTION)	
INTERNAL WALL	SHARED WITH GARAGE	PLASTERBOARD	NIL
FLOORS	CONCRETE SLAB ON GROUND	NIL	
SUSPENDED FLOOR ABOVE GARAGE, FRAMED	NIL		
CEILING	CONCRETE SLAB ON GROUND	NIL	
FLAT CEILING	CONCRETE SLAB ON GROUND	R2.5 (UP)	FRAMED
ROOF	FLAT ROOF/FRAMED	FOIL (SARKING)	COLOUR MEDIUM - SA 0.475-0.7
PITCHED OR SKILLION ROOF/FRAMED			
WINDOWS/UNIT 2A	PRODUCT ID	GLASS	FRAME
W1-W2-W3		SINGLE CLEAR (OR U-VALUE: 7.83, SHGC:0.75)	STANDARD ALUMINIUM
W4-W9-W10		SINGLE PYROLYTIC LOW-E (U-VALUE: 5.7, SHGC:0.47)	STANDARD ALUMINIUM
W6-W7-SD1-SD2-BFD1		SINGLE CLEAR (OR U-VALUE: 6.44, SHGC:0.75)	IMPROVED ALUMINIUM
W8-W5		SINGLE TONED (OR U-VALUE: 7.57, SHGC:0.57)	STANDARD ALUMINIUM
WINDOWS/UNIT 2B	PRODUCT ID	GLASS	FRAME
W1-W2-W3-W5-W10		SINGLE CLEAR (OR U-VALUE: 7.83, SHGC:0.75)	STANDARD ALUMINIUM
W12-W13-SD1-BFD1		SINGLE PYROLYTIC LOW-E (U-VALUE: 4.48, SHGC:0.46)	IMPROVED ALUMINIUM
W7-W11		SINGLE TONED (OR U-VALUE: 7.57, SHGC:0.57)	STANDARD ALUMINIUM
W4-W6		SINGLE PYROLYTIC LOW-E (U-VALUE: 5.7, SHGC:0.47)	STANDARD ALUMINIUM
W9		SINGLE TONED (OR U-VALUE: 6.39, SHGC:0.56)	IMPROVED ALUMINIUM



GROUND FLOOR PLAN

SCALE: 1:100

EXTERNAL FINISHES
 WALLS: SELECTED CEMENT RENDERED.....CREAMY
 WALLS TO BE FACE BRICK.....CREAMY COLOR
 SELECTED METAL ROOF SHEETS..... MEDIUM COLOR
 ALUMINIUM WINDOWS & DOORS.....BLACK COLOR
 GUTTERS & DOWN PIPES.....BLACK COLOR

ISSUE	AMENDMENT	DATE	CHECKED
-C-	C.C.STAGE	06/04/17	S.S.
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PROJECT:
 PROPOSED DUPLEX DEVELOPMENT
 AT LOT 2 DP 1208825
 AT NO 18 MARNE STREET - PORT KEMBLA
 FOR MR. ZORAN

DRAWING TITLE:
 ARCHITECTURAL DETAILS
 SHEET: 2/5

DESIGNED BY: SAM SAKR
 DATE: 20/10/16
 CAD FILE NAME:
 Z:\2013\AR\253 LOT 2
 REV: S.S.
 SCALE:
 1:100
 DRAWN:
 A.M.

BASIX DETAILS

NOTE: ALL REQUIREMENTS TO COMPLY WITH THE BASIX CERTIFICATE NUMBER: UNIT 2A= 773158S UNIT 2B= 773173S

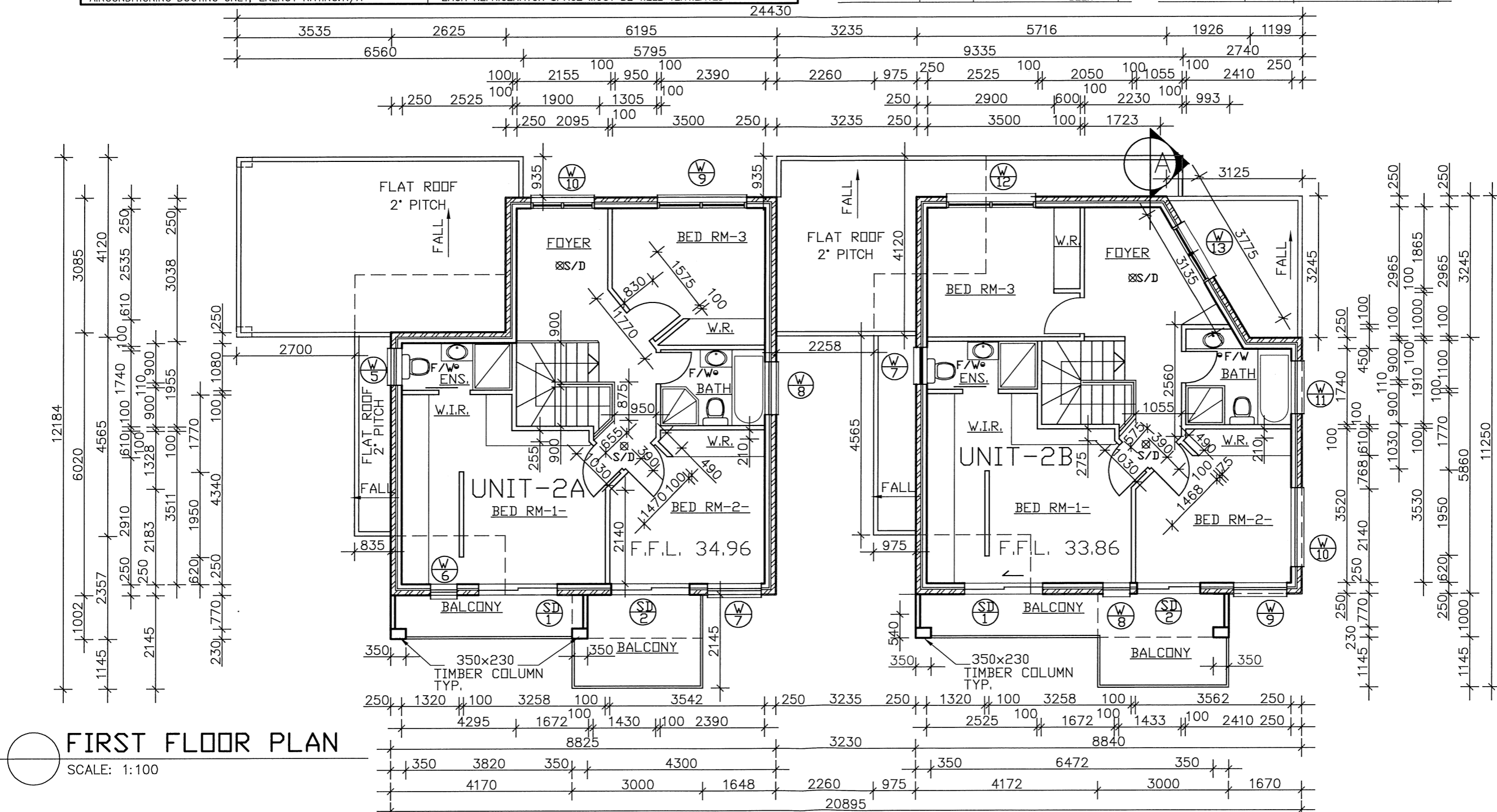
- PROVIDE GAS HOT WATER SYSTEM OR A SYSTEM WITH A HIGHER ENERGY RATING: GAS INSTANTANEOUS WITH A PERFORMANCE OF 3.5 STARS.
- SHOWERHEADS WITH MIN. RATING OF 3 STAR (>7.5 BUT <=9 L/min) TO BE INSTALLED IN ALL SHOWER / UNIT 2A
- SHOWERHEADS WITH MIN. RATING OF 3 STAR (>6 BUT <=7.5 L/min) TO BE INSTALLED IN ALL SHOWER/ UNIT 2B
- A TOILET FLUSHING SYSTEM WITH MIN. RATING OF 3 STAR TO BE INSTALLED IN EACH TOILET / UNIT 2A
- A TOILET FLUSHING SYSTEM WITH MIN. RATING OF 4 STAR TO BE INSTALLED IN EACH TOILET / UNIT 2B
- TAPS WITH MIN. RATING OF 3 STAR TO BE INSTALLED IN THE KITCHEN / UNIT 2A & 2B
- BASIN TAPS WITH MIN. RATING OF 3 STAR TO BE INSTALLED IN EACH BATHROOM/UNIT 2A
- BASIN TAPS WITH MIN. RATING OF 4 STAR TO BE INSTALLED IN EACH BATHROOM/ UNIT 2B
- PROVIDE COOLING SYSTEM OR A SYSTEM WITH A HIGHER ENERGY RATING IN AT LEAST 1 LIVING AREA & 1 BEDROOM: AIRCONDITIONING DUCTING ONLY; ENERGY RATING: N/A
- PROVIDE HEATING SYSTEM OR A SYSTEM WITH A HIGHER ENERGY RATING IN AT LEAST 1 LIVING AREA & 1 BEDROOM: AIRCONDITIONING DUCTING ONLY; ENERGY RATING: N/A

- INDIVIDUAL FAN TO AT LEAST 1 BATHROOM, DUCTED TO FACADE OR ROOF. OPERATION CONTROL: MANUAL SWITCH ON/OFF
- INDIVIDUAL FAN IN THE KITCHEN AND L'DRY DUCTED TO FACADE OR ROOF. OPERATION CONTROL: MANUAL SWITCH ON/OFF
- PROVIDE WATERTANK SIZE (MIN) 2500 LITRES TO COLLECT RUNOFF FROM AT LEAST: 100m² OF THE ROOF AREA AND MUST CONNECT TO ALL TOILETS, AND AT LEAST ONE OUTDOOR TAP FOR UNIT 2B
- PROVIDE WATERTANK SIZE (MIN) 2000 LITRES TO COLLECT RUNOFF FROM AT LEAST: 100m² OF THE ROOF AREA AND MUST CONNECT TO ALL TOILETS, AND AT LEAST ONE OUTDOOR TAP FOR UNIT 2A
- THE APPLICANT MUST ENSURE THAT THE PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLORESCENT OR LIGHT EMITTING DIODE (LED) LIGHTING IN ALL HALLWAYS, AT LEAST 2 OF THE LIVING/ DINING ROOMS; DEDICATED AND AT LEAST 1 OF THE BEDROOMS/STUDY; DEDICATED
- THE APPLICANT MUST INSTALL A WINDOW & OR SKYLIGHT IN THE KITCHEN AND 2 BATHROOM/TOILET FOR NATURAL LIGHTING
- PROVIDE GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN
- A FIXED OUTDOOR CLOTHES DRYING LINE MUST BE INSTALL
- EACH REFRIGERATOR SPACE MUST BE WELL VENTILATED

WINDOW SCHEDULE

WINDOW NAME	HEIGHT mm	WIDTH mm	
UNIT 2A			
W1	2100	1100	FIXED WINDOW
W2-W6	1800	450	FIXED WINDOW
W3-W7	1800	1210	SLIDING WINDOW
W4	1200	1810	SLIDING WINDOW
W5	857	850	SLIDING WINDOW
W8	857	1210	SLIDING WINDOW
W9	1200	2050	SLIDING WINDOW
W10	1200	1450	SLIDING WINDOW
W11	1200	1450	SLIDING WINDOW
SD1-SD2	2100	1810	SLIDING DOOR

UNIT 2B			
W1	2100	1100	FIXED WINDOW
W2-W8	1800	450	FIXED WINDOW
W3-W9	1800	1210	FIXED WINDOW
W4-W6-W10	1200	1810	SLIDING WINDOW
W5-W7	857	850	SLIDING WINDOW
W11	857	1210	SLIDING WINDOW
W12	1200	2050	SLIDING WINDOW
W13	1200	1450	SLIDING WINDOW
W14	1200	1450	SLIDING WINDOW
SD1	2100	1810	SLIDING DOOR
SD2	2100	1450	SLIDING DOOR
BFD1	2100	2095	BI-FOLDING DOOR



FIRST FLOOR PLAN

SCALE: 1:100

ISSUE	AMENDMENT	DATE	CHECKED
-C-	C.C.STAGE	06/04/17	S.S.
-B-	AMENDED PLANS	27/02/17	S.S.



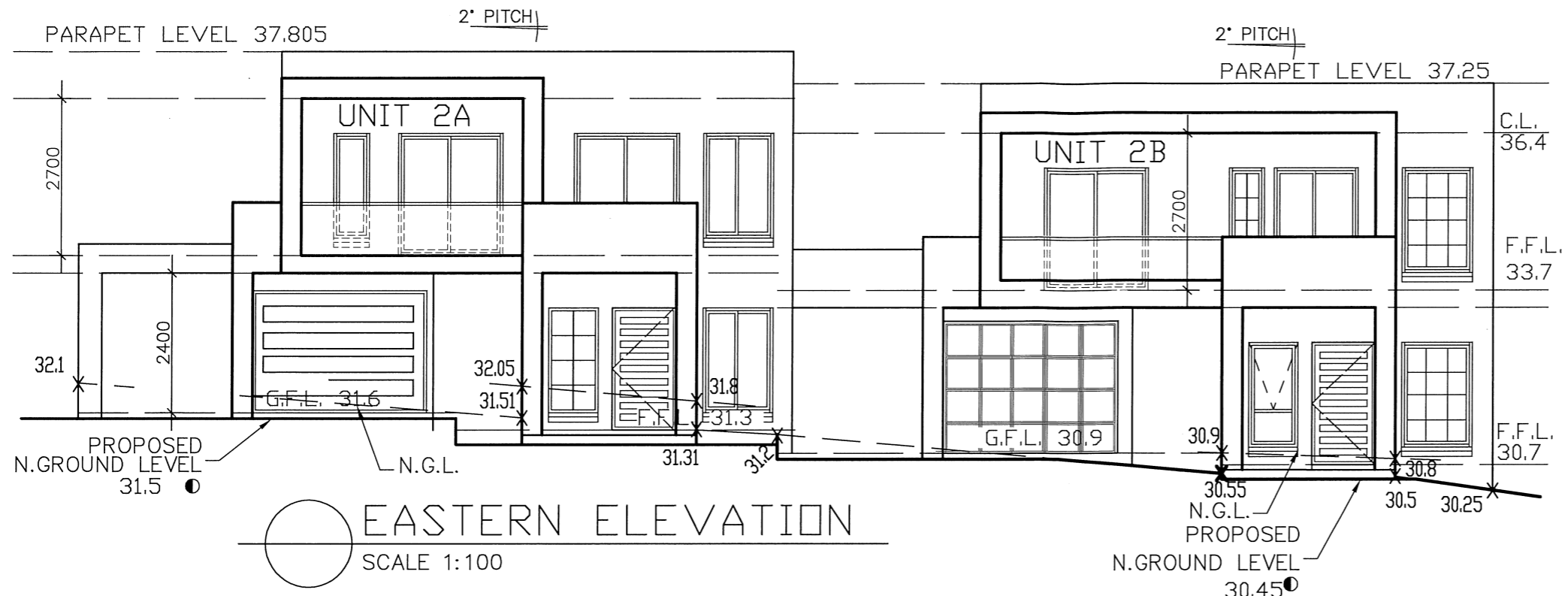
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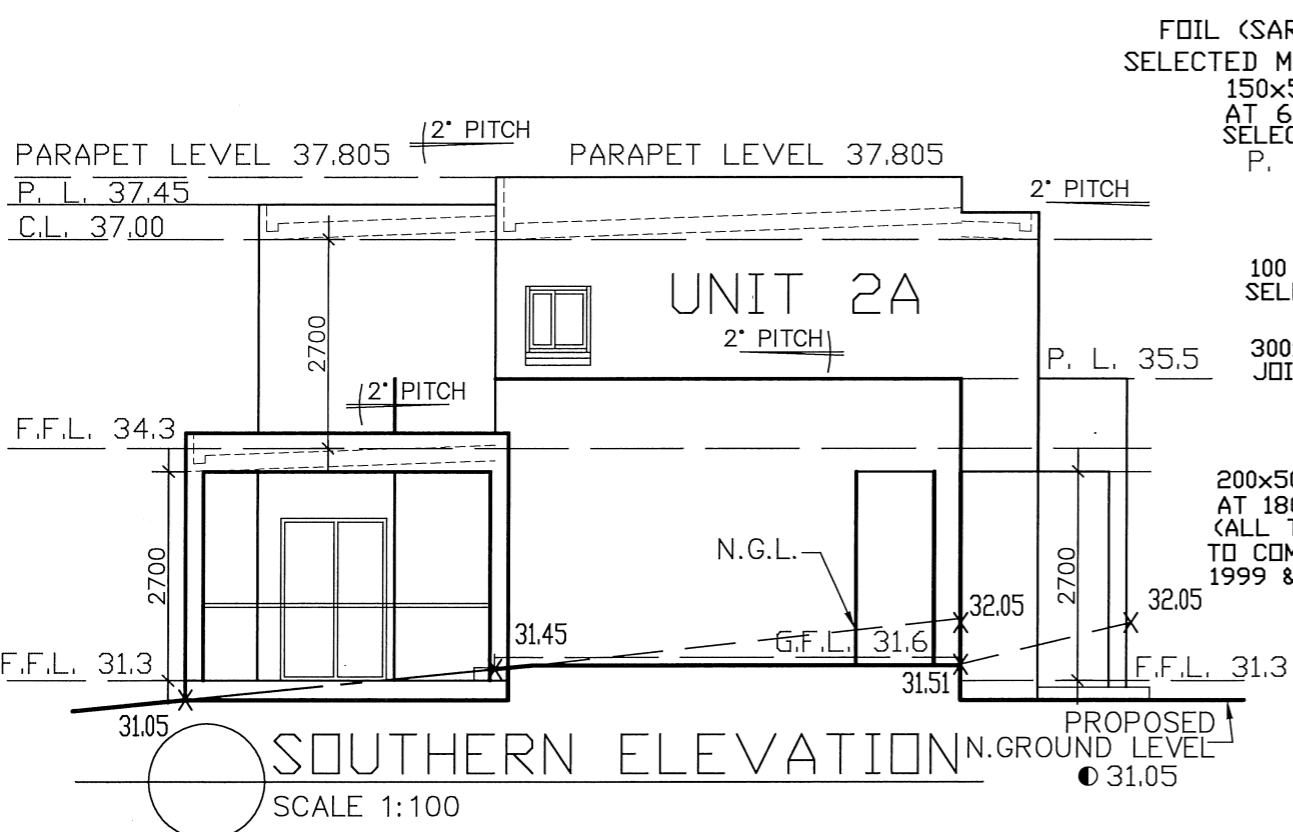
PROJECT:
 PROPOSED DUPLEX DEVELOPMENT
 AT LOT 2 DP 1208825
 AT NO 18 MARNE STREET - PORT KEMBLA
 FOR MR. ZORAN

DRAWING TITLE:
 ARCHITECTURAL DETAILS
 SHEET: 3/5

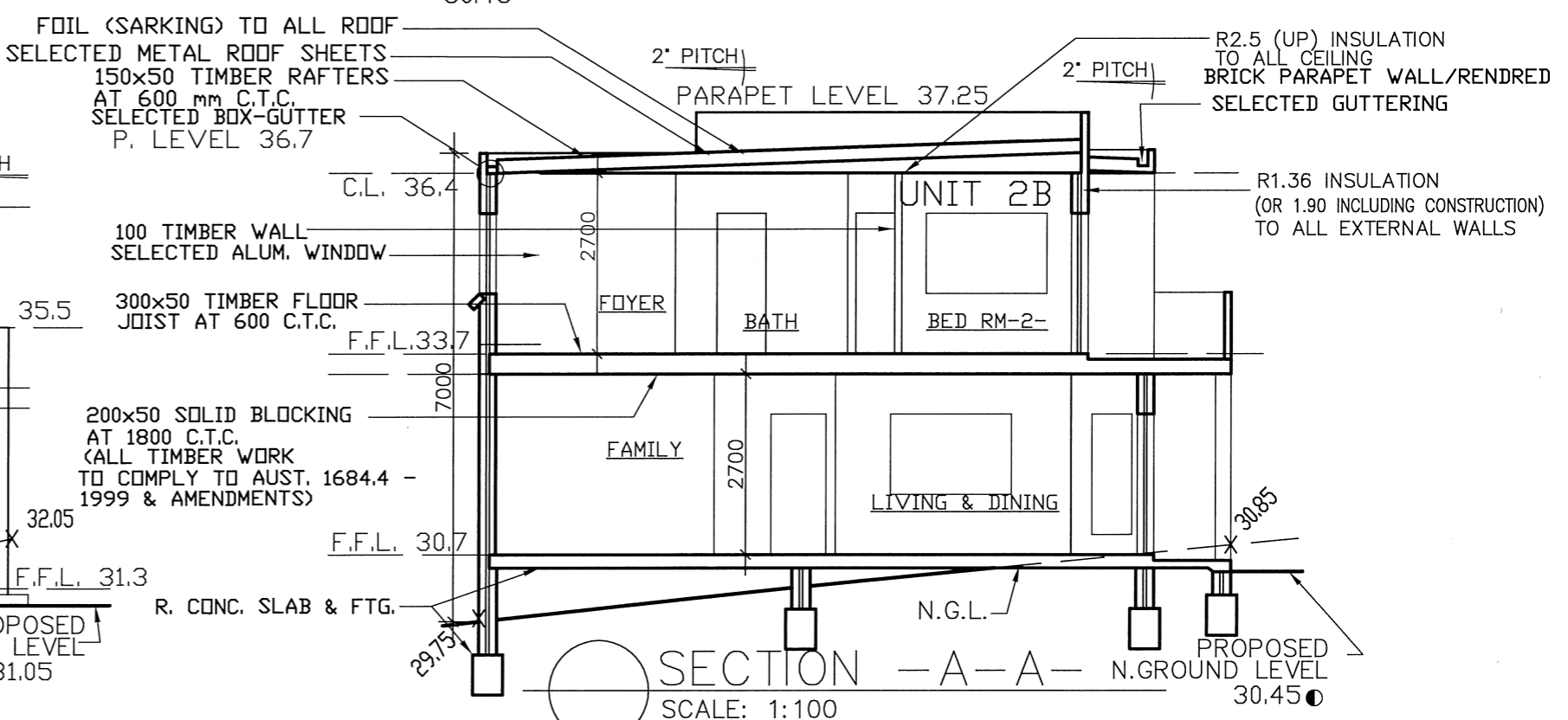
DESIGNED BY: SAM SAKR	REV: S.S.
DATE: 20/10/16	SCALE: 1:100
CAD FILE NAME: Z:\2013\AR'253 LOT 2	DRAWN: A.M.



EASTERN ELEVATION
SCALE 1:100



SOUTHERN ELEVATION
SCALE 1:100



SECTION -A-A-
SCALE: 1:100

ISSUE	AMENDMENT	DATE	CHECKED
-C-	C.C.STAGE	06/04/17	S.S.
-B-	AMENDED PLANS	27/02/17	S.S.



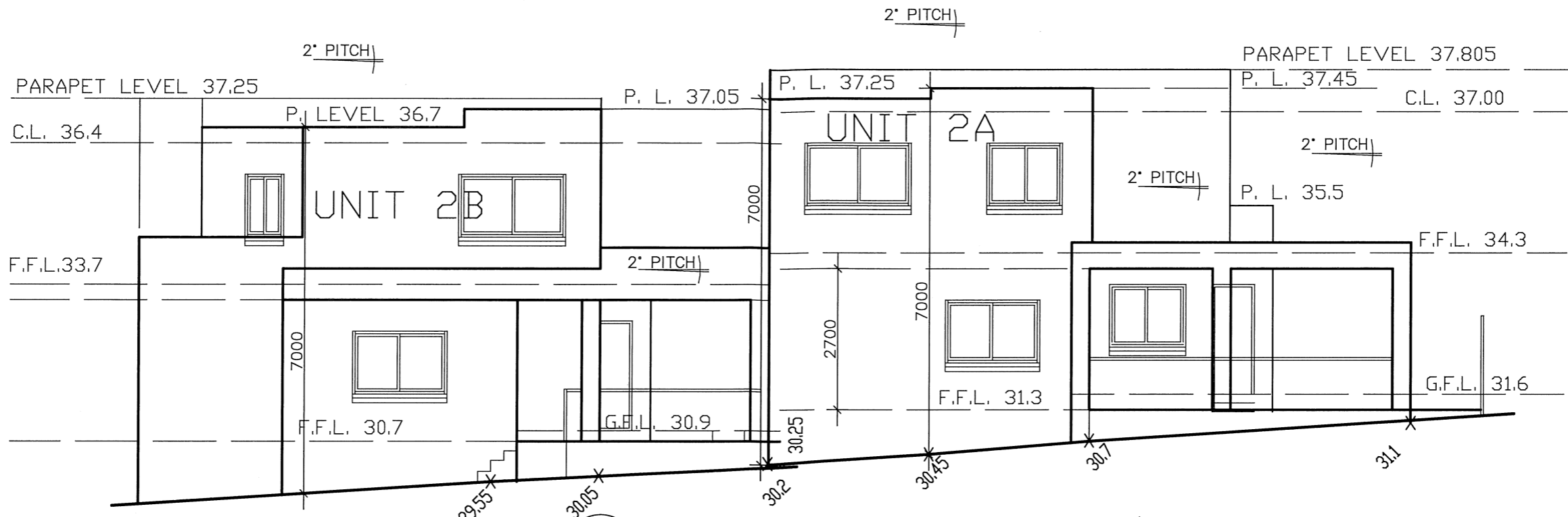
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PROJECT:
 PROPOSED DUPLEX DEVELOPMENT
 AT LOT 2 DP 1208825
 AT NO 18 MARNE STREET - PORT KEMBLA
 FOR MR. ZORAN

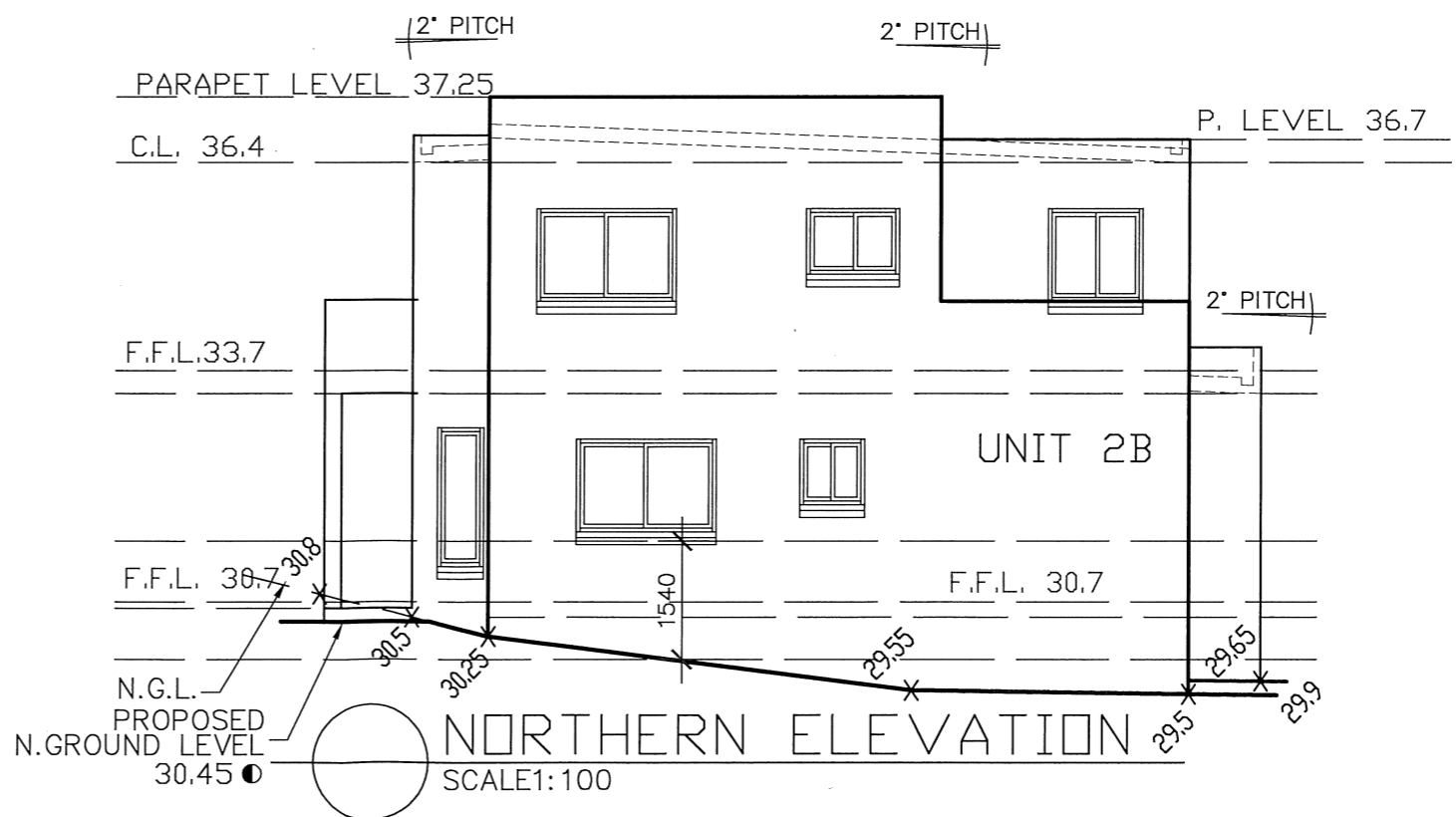
DRAWING TITLE:
 ARCHITECTURAL DETAILS
 SHEET: 4/5

DESIGNED BY: SAM SAKR REV: S.S.
 DATE: 20/10/16 SCALE: 1:100
 CAD FILE NAME: Z:\2013\AR\253 LOT 2 DRAWN: A.M.



WESTERN ELEVATION
SCALE: 1:100

- C.C. NOTES:**
DUPLEX
- ALL PARTY WALLS TO BE 270mm THICK, DOUBLE BRICK WALL, RENDERED BOTH SIDES AND BUILT TO THE UNDERSIDE OF THE ROOF COVERING TO ACHIEVE MIN. FIRE AND NOISE INSULATION LEVELS AS SET OUT IN THE B.C.A. (60x60x60)
 - LOCATION AND INSTALLATION OF SMOKE ALARMS TO COMPLY WITH THE PART 3.7.2.2 OF BCA AND AS3786
 - STAIR CONSTRUCTION COMPLYING WITH PART 3.9.1 BCA INCLUDING GEOMETRY AND CONSTRUCTION REQUIREMENTS
 - PROVIDE 1m MIN HIGH HANDRAILS AND BALUSTRADE AROUND STAIR VOID AND BALCONIES COMPLYING WITH PART 3.9.2 BCA 96 V01.2, & NOT ALLOWING A SPHERE 125mm DIAM. TO PASS THROUGH THEM
 - DOORS TO WATER CLOSETS THAT ARE LESS THAN 1.2m FROM THE TOILET SPAN ARE TO BE READILY REMOVABLE FROM THE OUTSIDE COMPARTMENT & IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA 2015, REFER 3.8.3.3.
 - WATERPROOFING OF WET AREAS INCLUDING BATHRMS, SHOWERS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE COMPLYING WITH PART 3.8.1. BCA AND AUSTRALIAN STANDARD 3740
 - FIRE SEPARATION AND CONSTRUCTION BETWEEN OCCUPANCIES TO COMPLY WITH PART 3.7.1.8 IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA 2015
 - SOUND TRANSMISSION AND INSULATION BETWEEN OCCUPANCIES TO COMPLY PART 3.8.6. IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA 2015
 - SITE TREATMENT FOR TERMITE PROTECTION IS TERMIMESH METHOD RISK MANAGEMENT TO COMPLY WITH THE PART 3.1.3 OF BCA AND AS3660.1
 - THE DEVELOPER MUST ENSURE THAT APPROPRIATE DUST SUPPRESSION MEASURES ARE INSTALLED/UTILISED DURING THE PERIODS OF EXCAVATION/PLACEMENT OF FILL / CONSTRUCTION & TO BE COVER UP OR USE WATERING SYSTEM.
 - LIGHTING MUST BE PROVIDED TO THE ENTRIES OF THE DWELLINGS, DRIVEWAYS AND PARKING AREAS TO PROMOTE A HIGH LEVEL OF SAFETY AND SECURITY AT NIGHT AND SHOULD BE HOODED.
 - MASONRY CONSTRUCTION MUST BE COMPLY WITH PART 3.3 BCA VOL.2
 - SKYLIGHTS MUST NOT STAND LESS THAN 900 mm FROM THE SEPARATING WALL TO COMPLY WITH PART 3.7.1.10 OF THE BCA.
 - MECHANICAL VENTILATION TO ALL L'DRIES & BATHROOM IN UNIT 1&2/ Gnd FLOOR MUST BE SPECIFIED TO COMPLY WITH AS 1668.2.
 - ALL TIMBER ARE TO COMPLY TO AUST. 1684- PART 2&4
 - THE SANITARY WINDOW IS TO BE TRANSLUCENT GLASS
 - ALL PROPOSED FIRST FLOOR BED Rm WINDOWS SHALL BE PROTECTED & TO COMPLY WITH 3.9.2.5 OF THE BCA.



NORTHERN ELEVATION
SCALE: 1:100

ISSUE	AMENDMENT	DATE	CHECKED
-C-	C.C.STAGE	06/04/17	S.S.
-B-	AMENDED PLANS	27/02/17	S.S.



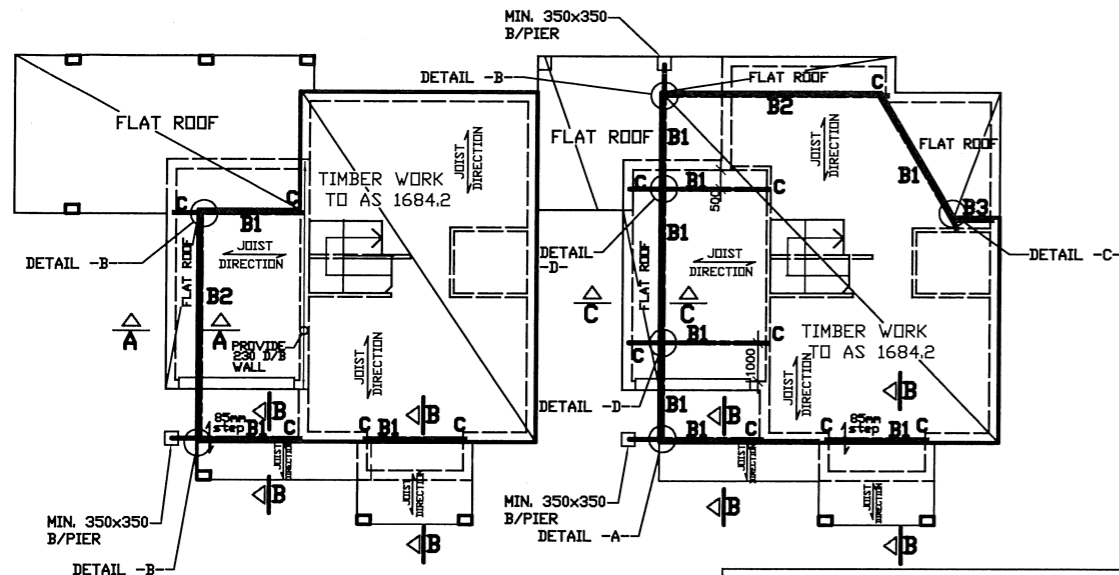
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PROJECT:
 PROPOSED DUPLEX DEVELOPMENT
 AT LOT 2 DP 1208825
 AT NO 18 MARNE STREET - PORT KEMBLA
 FOR MR. ZORAN

DRAWING TITLE:
 ARCHITECTURAL DETAILS
 SHEET: 5/5

DESIGNED BY: SAM SAKR	REV: S.S.
DATE: 20/10/16	SCALE: 1:100
CAD FILE NAME: Z:\2013\AR\253 LOT 2	DRAWN: A.M.



FIRST FLOOR PLAN

BEAM LAYOUT

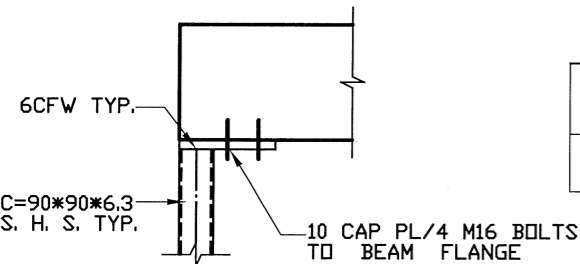
B1: 250 UB 37.3

B2: 310 UB 46.2

B3: 200 UB 25.4

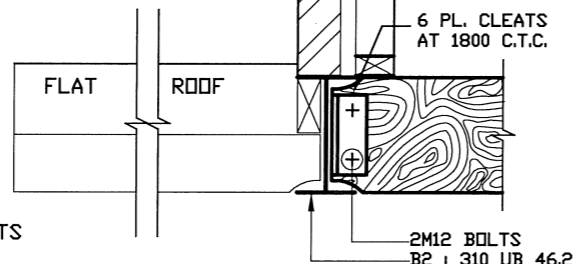
NOTE 1 FOR B2 USE STIFFNER PLATES STARTING AS FIRST OVER THE COLUMN & THEN PLATE @ 600mm C.T.C. PLATE SIZE : 280X79X10 WELDED AROUND FLANGE & WEB ON BOTH SIDE.

NOTE 2 IF NORMAL F7 TIMBER IS NOT WORKING FOR JOIST SPANS, YOU CAN USE HY-SPAN TIMBER AND SUBJECT TO HY-SPAN TABLES, DETAILS AND SPECIFICATION.



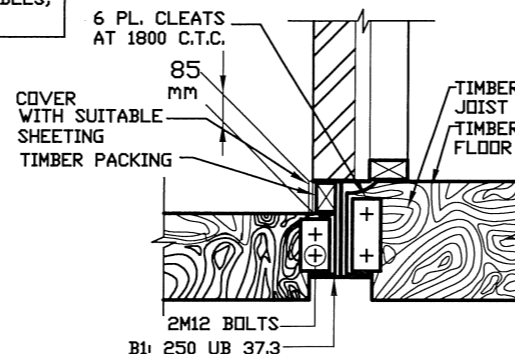
TYP. BEAM COLUMN CONNECTION

SCALE: 1:10



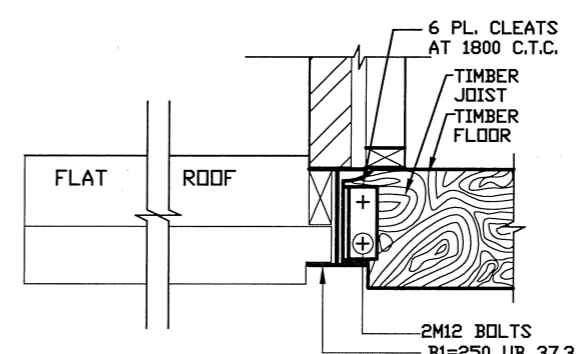
SECTION -A-A-

SCALE: 1:10



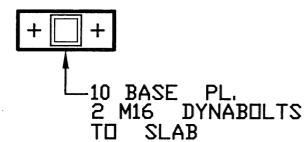
SECTION -B-B-

SCALE: 1:10



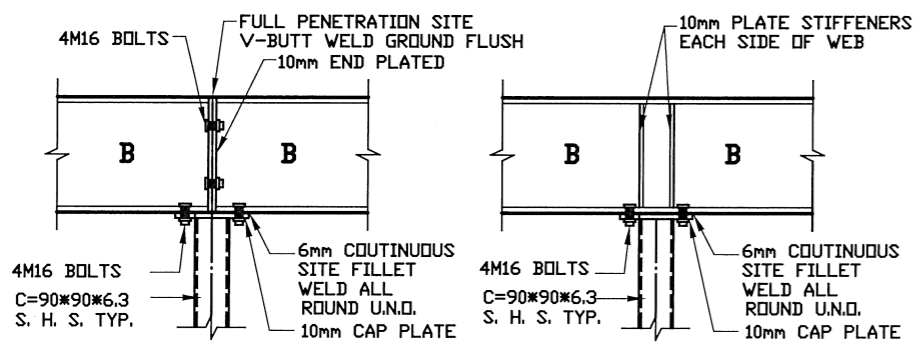
SECTION -C-C-

SCALE: 1:10



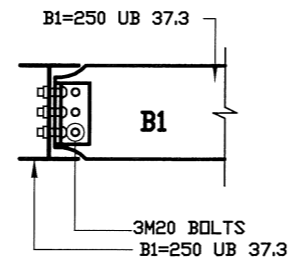
TYP. COLUMN BASE PL.

SCALE: 1:10



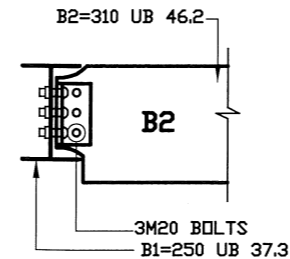
BEAMS CONNECTIONS DETAILS

FLOOR JOISTS AND NAILING PLATE OMITTED FOR CLARITY



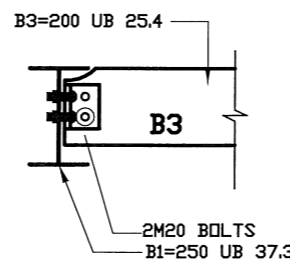
DETAIL -A-

SCALE: 1:10



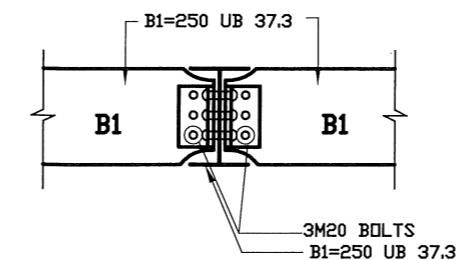
DETAIL -B-

SCALE: 1:10



DETAIL -C-

SCALE: 1:10

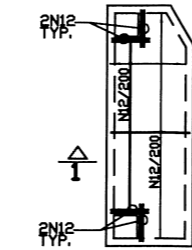


DETAIL -D-

SCALE: 1:10

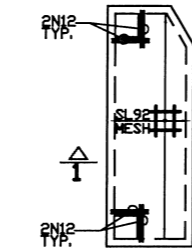
TANK /BASE SLAB

REINFORCEMENT DETAILS
100mm SLAB THICKNESS



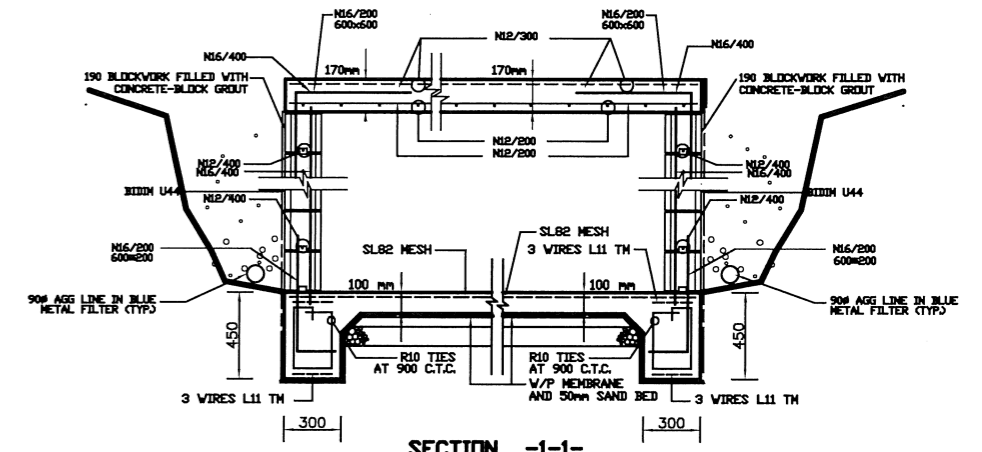
TANK /TOP SLAB

BTM REINFORCEMENT
170 mm SLAB THICKNESS



TANK /TOP SLAB

TOP REINFORCEMENT



SECTION -1-1-



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PROJECT:
STRUCTURAL DETAILS FOR PROPOSED
DUPLEX DEVELOPMENT
AT LOT 2 DP 1208825
AT NO 18 MARNE STREET - PORT KEMBLA
FOR MR. ZORAN

DRAWING TITLE:
FIRST FLOOR PLANS, SECTIONS & O.S.D. DETAILS
SHEET: 2/2

DESIGNED BY: HASSAN SAKR
B.E.(HONS), M.STRUCT.ENG., M.I.E.AUST., F.I.E.AUST., OPENG.
NPER (CIVIL / STRUCTURE), ACCREDITED CERTIFIER (CIVIL/STRUCTURE), PROJECT MANAGER
DATE: 30/11/15 SCALE: 1:100 1:20 1:10
CAD FILE NAME: Z:\EN013\EN'253 LOT2 DRAWN: A.S.

ISSUE	AMENDMENT	DATE	CHECKED